

RESIDENTIAL MANUFACTURED HOME ON PRIVATELY OWNED LOT



CITY OF GILLETTE

Development Services Department
Building Inspection Division
P.O. Box 3003 • Gillette, Wyoming 82717-3003
Phone 307.686.5260
www.gillettewy.gov



**RESIDENTIAL
MANUFACTURED HOME
(MOBILE HOME)
ON A PRIVATELY OWNED LOT**

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MANUFACTURED HOME ON A PRIVATE LOT PLAN SUBMISSION CHECK LIST

Plans and specifications shall be in compliance with Housing and Urban Development. (HUD) The City of Gillette has adopted Appendix E of the International Residential Code (IRC) and the 2020 National Electric Code (NEC). Plans shall be of sufficient clarity to indicate the Physical address of the location, nature, and extent of the work proposed. Plans are required to be submitted digitally using Energov Self Service. For additional information go to the web site: <http://www.gillettewy.gov> , at “Quick Links” use the down arrow and select -Energov Self Service from the list of options.

FOUNDATION PLAN

- >The foundation plans shall indicate the size, location, and type of material to be used as a foundation. Foundations are lot specific and must contain a physical address on plans.
- >The foundation shall be prepared, stamped, and signed by a Wyoming licensed engineer, detailing the location and size of all exterior and interior footings.
- >Drains shall be provided around all concrete or masonry foundations that retain earth and enclose habitable or usable spaces located below grade (including crawl spaces)
- >Pit sets shall have a drainage system to prevent the accumulation of water under the unit.
- >A foundation Location Certificate is required prior to the Certificate of Occupancy being issued.

Use File name: **Foundation.pdf**

PLOT PLAN REQUIREMENTS

- > Required to be by a Design Professional
- >Include Street address & legal description (lot, block, and subdivision)
- >Show proposed porches, decks, patios, garages, exterior stairways, etc.
- >Property lines & all utility easements must indicate dimensions, north arrow, must be drawn to scale, and show setbacks. (Distance to the building from all property lines)
- >The direction of drainage flow should be indicated with arrows. Drainage shall not impact adjacent properties. Show sidewalks, (proposed & existing) and location of water, sewer, & electrical services to home.
- >Plot Plan shall show top of curb elevation at the highest point of property & proposed top of finished floor elevation and show 2 all-weather surface off street parking places.
- >Two All-weather surface off-street parking spaces are required and shall be either asphalt or concrete.

Use file name: **Plot Plan.pdf**

STORM WATER POLLUTION PLAN DRAWING (SWPPPD)

- >May use a copy of the Plot Plan to indicate BMPs
- >The site map is to also indicate type and location of proposed Best Management Practices; (BMPs) for example, silt fence, waddles, trash container, portable toilet and areas used for material and soils waste material.

Use file name: **SWPPP Drawing.pdf**

STORM WATER POLLUTION PREVENTON PLAN AGREEMENT (SWPPPA)

- >Read, complete, sign, and date the agreement where indicated; upload the SWPPP Agreement into ePlan with your building project plans in the documents folder.

Use file name: **SWPPP Agreement.pdf**

Piers and bearing walls shall be supported on masonry or concrete foundation or piles or other *approved* foundation systems which shall be of sufficient capacity to support all loads.

To start the process, the General Contractor or Contractor would apply for the permit and upload the required drawings and documents in “Energov Self Service.”

Required Drawings and Documents:

- 1) Engineered Pier Design
- 2) Plot Plan
- 3) Deck drawings (Permit required: when the deck is at the main entrance of the home, over 200 square feet, more than 30” from the ground at any given point)
- 4) Storm Water Pollution Prevention Plan Agreement (SWPPPA)
- 5) Storm Water Pollution Prevention Plan Drawing (SWPPPD)
- 6) List of Subcontractors and permits. Electrical / Electrical licensed company name, Gas pipe fitting / Gas pipe fitting licensed company name.
- 7) Once the home is set on piers, a Surveyor is to be hired to do a Foundation Location Certificate. (FLC) The FLC is to be provided to Building Inspection prior to a Certificate of Occupancy or a Notice of Completion being issued.

Once plans have been approved by Building Inspection and Planning, the fees may be paid on-line, and then the permit is issued; the General Contractor/Contractor can print the permits from their office.

When a deck is included on the Plot Plan and deck drawings are submitted with the plans, a deck permit will also be issued at the same time as the home permit.

FEES:

Permit Fees:

Building Permit Fee (based on the total square footage of the home)	\$100.00 To \$150.00
Storm Water Pollution Prevention Plan Permit	\$ 30.00
Electrical Permit	\$ 50.00
Water and Sewer Permit	\$ 20.00
Gas Pipe Fitting Permit	\$ 10.00
Deck	\$ 20.00 per deck

Service Connection Fees (Tap Fees):

These fees are based on the service size; typically, Manufactured homes have the following service sizes

Electrical Capitol Contribution Fee. New 200 AMP Service	\$ 350.00
Water Plant-Investment-Fee. New 1” Water Meter	\$ 2,000.00
Sewer Plant-Investment-Fee. New 1” Water Meter	\$ 3,000.00 A Secondary Sewer Plant-
Investment-Fee may apply	\$ Amount Depends on subdivision.

GARAGES:

Garages are **not included** on the Manufactured Home permit; a separate Building Permit Application is to be submitted along with building plans and a plot plan; upon approval, a separate building permit and zoning permit will be issued.

When 2,500 square feet or more of soil are to be disrupted for the Garage Building Project, a SWPPA and SWPPPD are also required.

The Garage Permit Fee is based on the square footage of the garage:

500 Square feet & Less	\$ 30.00
501 -1,000 square feet	\$ 60.00
1,001 – 2,000 square feet	\$ 100.00
2,001 – 5,000 square feet	\$ 150.00
Over 5,000 square feet	\$ 150.00 plus .04 per square footage over 5,000

Foundation Location Certificates are also required for new garages.

Storm Water Pollution Prevention Plan Drawing (SWPPPD) Requirements:

Please note: A copy of the Plot Plan may be used to draw the Best Management Practices (BMPs) being proposed for use prior to and during the construction process.

Indicate where the following items will be located on the on the construction lot:

- The materials to stabilize the construction entrance
- Trash Container
- Portable Toilet
- Silt Fence
- Covered Inlet
- Outfall
- Indicate direction and per cent of slope

INSPECTIONS:

Storm water prevention pre-inspection

Piers are inspected by the Engineer who designed them.

Water & Sewer Line connections

Electrical Connection

Foundation Location Certificate

Deck holes, framing

Building Final

When work is ready to be inspected call the **Inspection Line: (307) 686-5256**

See the following example of the Inspection Card~

THIS IS AN EXAMPLE OF INSPECTIONS-CARDS NO LONGER IN USE

INSPECTION CARD – New MFG Home

■ EXAMPLE

Application #
Occupancy:
Construction:
M-H ON PRIVATE

Application #
Occupancy:
Construction:
DETACHED GARAGE

ADDRESS:

SUBDIVISION:

OCC TYPE: RESIDENTIAL CONSTR TYPE: 5-B ZONING: E-RS LOT/BLOCK:

GENERAL CONTRACTOR:

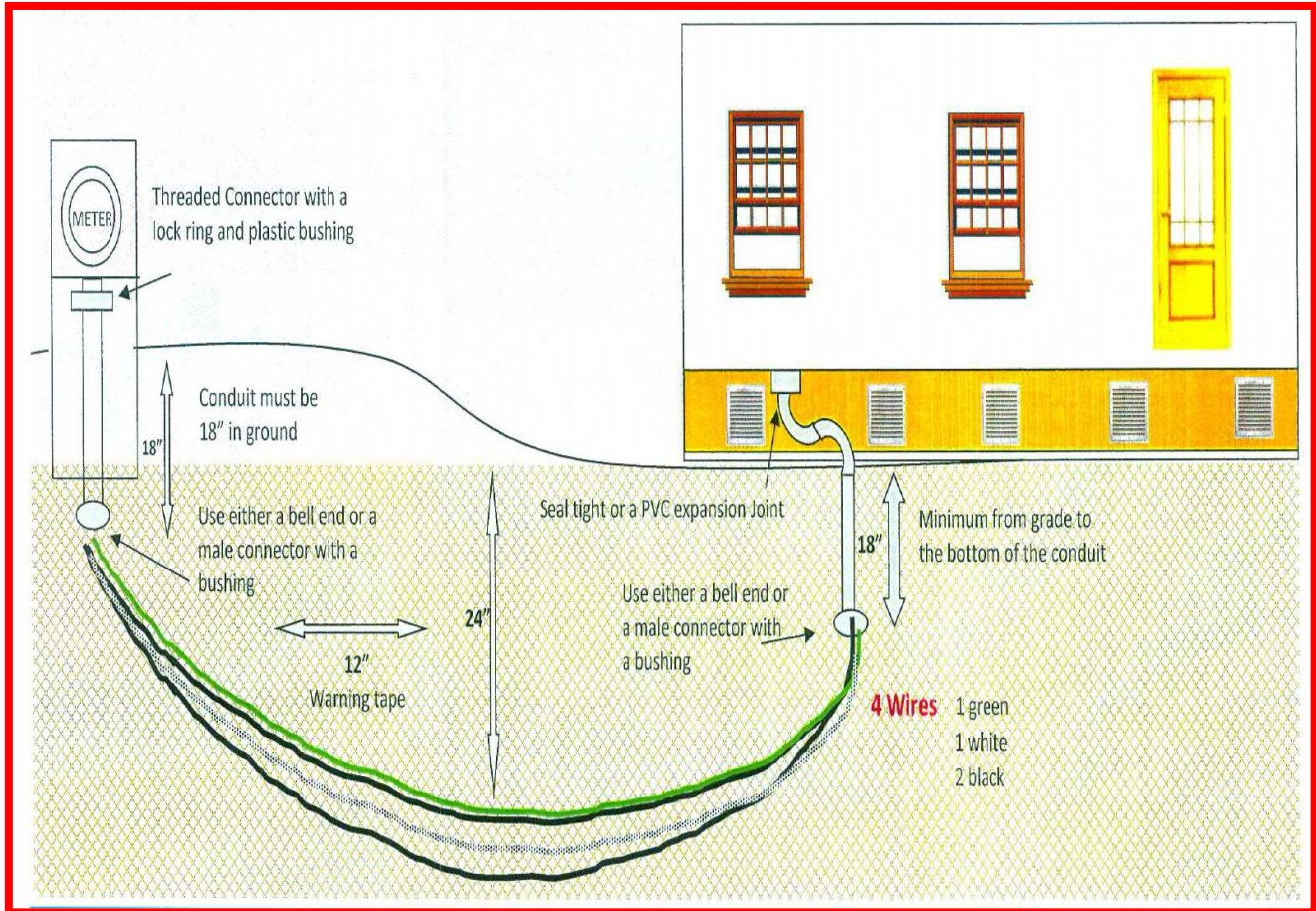
[STORM WATER APPLICATION / PERMIT #](#)

INSPECTION	DATE	INSPECTOR	COMMENTS
M - H			
Letter from the Engineer RE: soils “open hole”, piers/footings, bracing/blocking/tie downs			
Water Service			
Sewer Service			
Deck / Porch – Framing			
Address Number Posted on Building			
Electric – Ground Rods (2) / Disconnect			
Electric – Permanent / Temp to House			
Foundation Location Certificate			
Tap Fees Paid			Water meter size: ____ ¾” ____ 1”
Capital Contribution Fee Paid			Residential: _____ amps
Skirting – Vents & Access Door			
Off-Street Parking (18’ x 18’ within lot lines)			
Grading			
Final			
DETACHED GARAGE			
Monolithic Slab			
Rough Electric			
Framing / Truss Certs			
Electric Final			
Building Final			

Other Inspections / Comments

ELECTRICAL REQUIREMENTS:

**Feeder conductors shall be sized according to the tag on the Manufactured Home.
If the tag on the Manufactured home is more than 50 amperes, it cannot be cord connected.**



Conductor Size

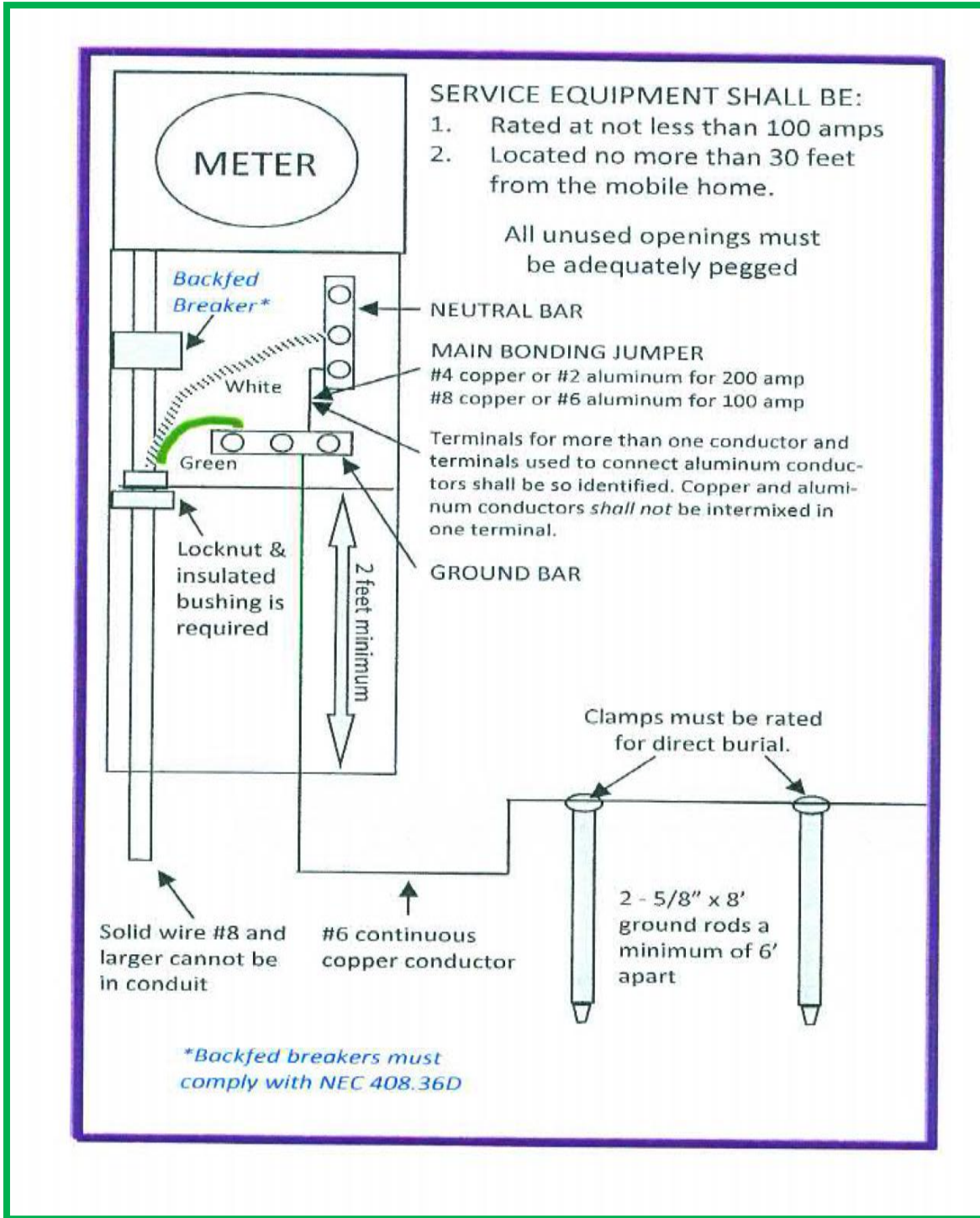
Burial Depths

100 amp-3 # 4 copper or # 2 aluminum & 1 # 8 copper or # 6 aluminum.	Rigid metal conduit or imc	6"
200 amp-3# 2/0 copper or 4/0 aluminum & 1 #6 copper or #4 aluminum.	PVC	18"
	Direct Burial Cable	24"

GROUND WIRE must be identified by green coloring or marking.

NEUTRAL WIRE must be identified by white coloring or marking.

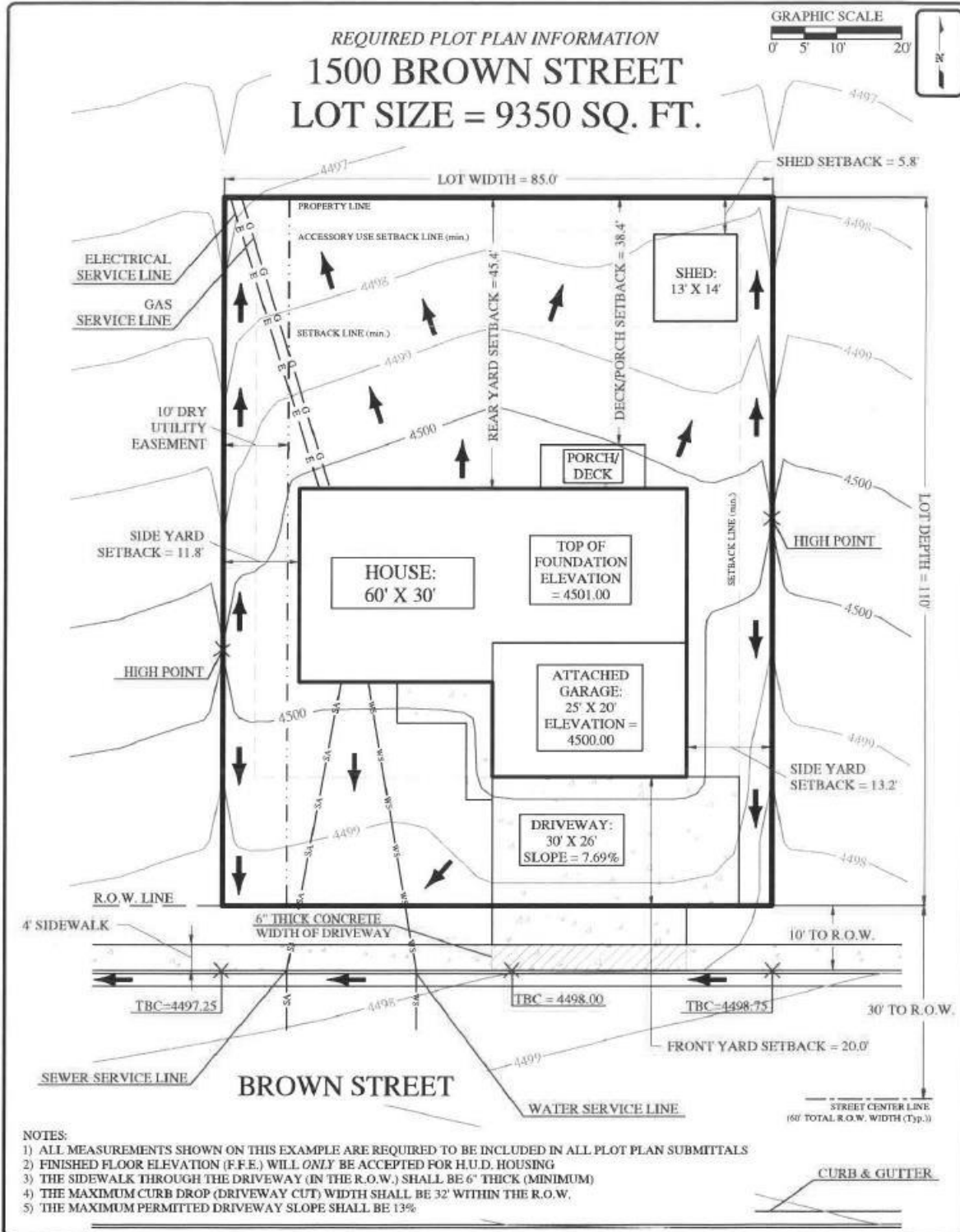
Conduit is allowed to lay on top of ground under the manufactured home as long as it is secured every five (5) feet.



The City of Gillette has adopted the National Electric Code (NEC)

INSPECTION REMINDER

Call the Inspection Line: (307) 686-5256 by 7:00 a.m. for a same day inspection Monday-Friday.



LEGEND

— WS — WS — WATER SERVICE LINE

— SA — SA — SANITARY SEWER SERVICE LINE

← ARROWS INDICATE DIRECTION OF FLOW

▭ CONCRETE

ENGINEER/SURVEYOR

COMPANY NAME

ADDRESS, EMAIL, PHONE NUMBER

PLOT PLAN - 1500 BROWN STREET

LOT 10, BLOCK 1, KIMROCK ESTATES, PHASE 1

EXAMPLE BY CITY OF GILLETTE
 BUILDING DIVISION
 201 E. 9TH STREET, P.O. BOX 3005
 GILLETTE, WYOMING 82717
 (307) 686-5364

Minimum Standards for City Acceptance of Residential Plot Plans

Plot Plan Size: 8 ½" X 11" Minimum, 11" X 17" Maximum

❖ **Required Bold Lines:**

- Property Lines
- Lot & Block Number
- Top of Foundation (T.O.F.) (i.e. top of Concrete, CMU, ICF, etc.)
- Top of Garage Floor (usually at least 6" or more below the T.O.F.)
- Curb & Gutter Linework with Top Back of Curb Elevation (T.B.C.) (this elevation shall be surveyed to ensure accuracy in determining proper T.O.F. elevations and correct driveway slope calculations)
- Building Outline (Including Cantilevers & Garages) to Include Attached Structures, i.e. Decks, Porches, Retaining Walls, Breezeways, etc
- Show any accessory structures such as a shed or a garage
- Scale Bar. Standard Engineering Scale Only. Architectural / Fractional Scale will not be accepted.
- Scale: 1"=20', 1"=30', 1"=40', 1"=50', or 1"=60', or 1"=100'(max)
- Proposed Water & Sewer Line Locations from the Structure to the City Mains
- Show all easements on the property, and Label Size and Type of Easement
- Drainage Flow Arrows (sufficient amount to allow reviewer to adequately understand flow patterns)
- If known, show the locations of the electrical, gas, and telecommunications lines & easements

❖ **Gray Scale Lines:**

- Building Setback Distance → Front, Side & Rear Yards – From Building (Including Cantilevers & Garages) to Property Line
- Finished Grade Contour Lines. Extend 20' (minimum) Beyond the Property Lines. (the overall existing subdivision contours shall be modified to more adequately show the intra-lot drainage)
- One (1) foot or two (2) foot contour intervals (1 foot preferred)
- Adjacent Streets (Provide Street Name(s))
- Driveway Location & Slope – Show Width and Depth dimensions (indicate if a 4' shelf around the front of the garage door will be installed, as this will drastically affect the driveway slope)
- Sidewalks, walkways, patios, and/or other flatwork

❖ **Bottom Right Corner:**

- Property Address
- Property Legal Description: Lot, Block, and Subdivision

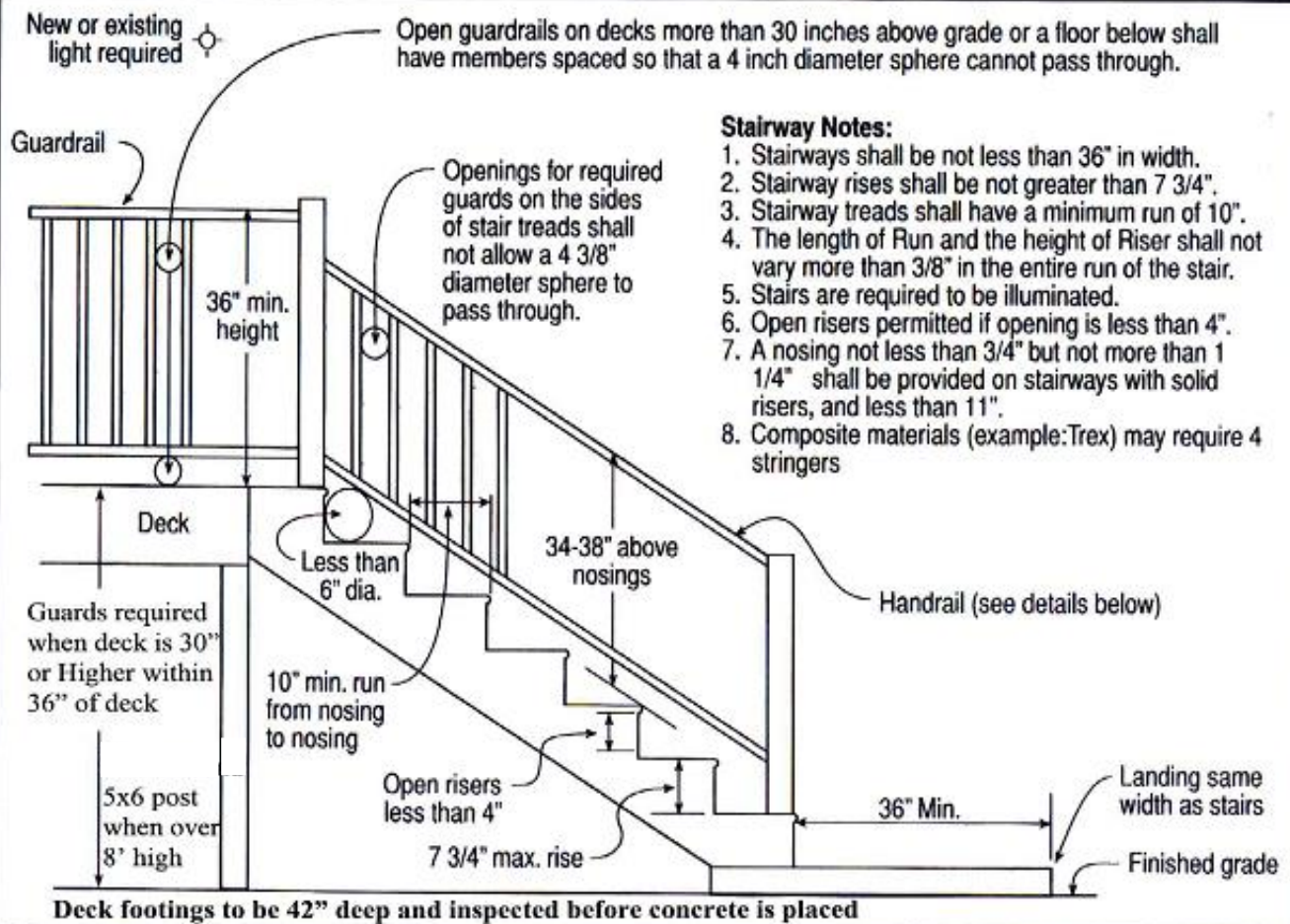
❖ **Bottom Center:**

- Surveyor/Engineer/Architect
- Company Name
- Company Address, Phone Number, and E-mail

NOTE: A Foundation Location Certificate FLC is required. Once the home is set on piers, a Surveyor is to be hired to do a FLC; the FLC shall be signed and sealed by a Wyoming Registered Surveyor.

Residential Handrail, Guardrail & Stairway Detail

Stair & Handrail Specifications



Stairway Notes:

1. Stairways shall be not less than 36" in width.
2. Stairway rises shall be not greater than 7 3/4".
3. Stairway treads shall have a minimum run of 10".
4. The length of Run and the height of Riser shall not vary more than 3/8" in the entire run of the stair.
5. Stairs are required to be illuminated.
6. Open risers permitted if opening is less than 4".
7. A nosing not less than 3/4" but not more than 1 1/4" shall be provided on stairways with solid risers, and less than 11".
8. Composite materials (example: Trex) may require 4 stringers

Handrail Notes:

1. Handrails shall be continuous on at least one side of stairs with 4 or more risers.
2. Top of the handrails shall be placed not less than 34 inches nor more than 38 inches above stair nosings.
3. The handgrip portion of handrails shall be not less than 1-1/4 inches nor more than 2 1/4 inches in cross section for non circular handrails
4. Handrails shall be placed not less than 1-1/2 inches from any wall or other surface
5. Handrails to be returned to wall, post or safety termina

Acceptable Handrail Details

