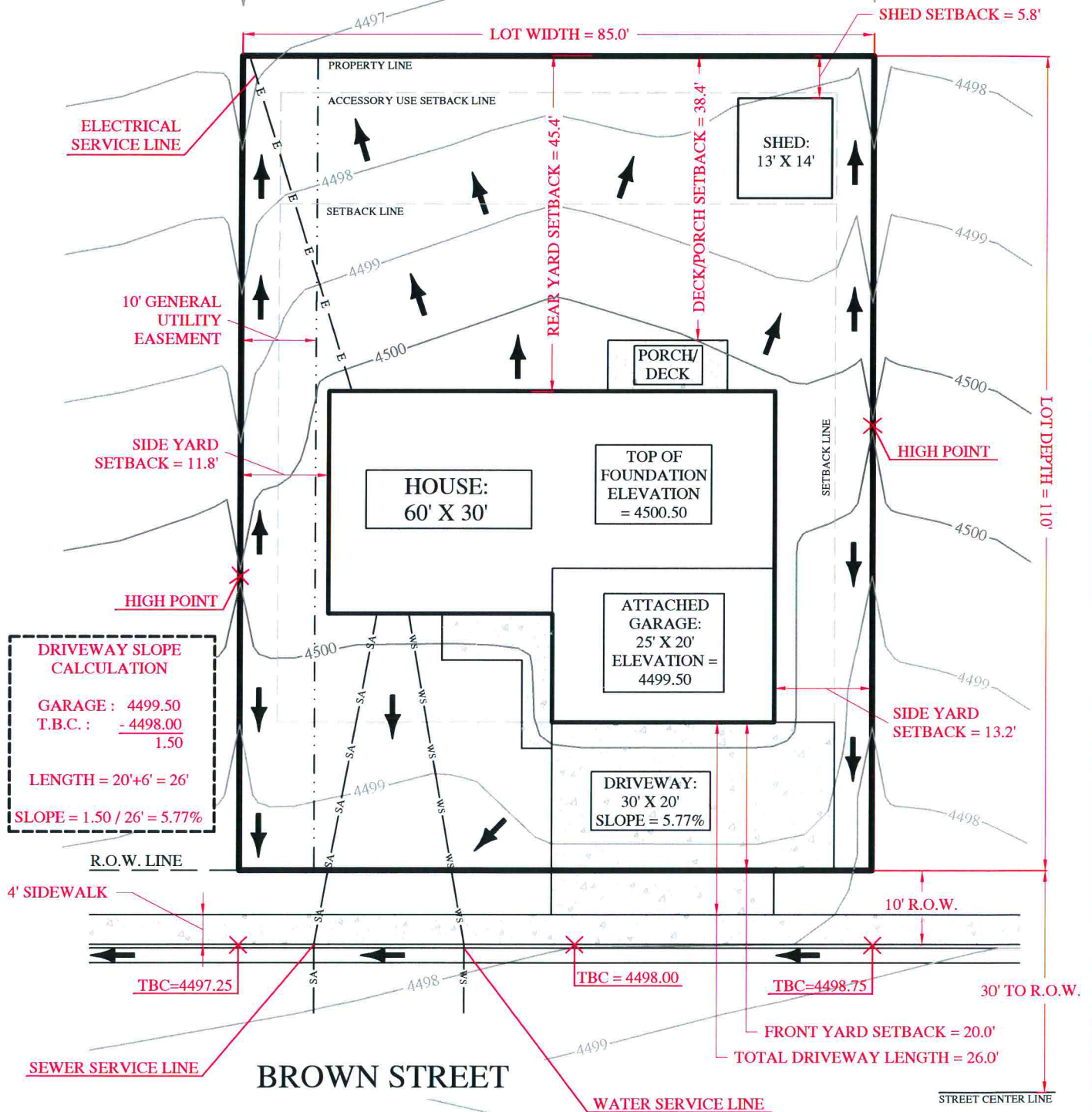


EXAMPLE PLOT PLAN FOR 1500 BROWN STREET LOT SIZE = 9350 SQ. FT.



- NOTES:**
- 1) ALL MEASUREMENTS SHOWN ON THIS EXAMPLE ARE REQUIRED TO BE INCLUDED IN ALL PLOT PLAN SUBMITTALS
 - 2) FINISHED FLOOR ELEVATION (F.F.E.) WILL ONLY BE ACCEPTED FOR H.U.D. HOUSING
 - 3) THE SIDEWALK THROUGH THE DRIVEWAY (IN THE R.O.W.) SHALL BE 6" THICK (MINIMUM)
 - 4) THE MAXIMUM CURB DROP (DRIVEWAY CUT) WIDTH SHALL BE 32' WITHIN THE R.O.W.
 - 5) THE MAXIMUM PERMITTED DRIVEWAY SLOPE SHALL BE 13%

CURB & GUTTER

LEGEND

- WS — WS — WATER SERVICE LINE
- SA — SA — SANITARY SEWER SERVICE LINE
- ← — — — ARROWS INDICATE DIRECTION OF FLOW
- — — — CONCRETE

ENGINEER/SURVEYOR: _____

COMPANY NAME: _____

ADDRESS, EMAIL, PHONE NUMBER: _____

PLOT PLAN - 1500 BROWN STREET

LOT 10, BLOCK 1, RIMROCK ESTATES, PHASE I

EXAMPLE BY CITY OF GILLETTE
BUILDING DIVISION
201 E. 5TH STREET, P.O. BOX 3003
GILLETTE, WYOMING 82717
(307) 686-5364

Minimum Standards for City Acceptance of Residential Plot Plans

Plot Plan Size: 8 ½" X 11" Minimum, 11" X 17" Maximum

❖ **Required Bold Lines:**

- Property Lines
- Lot & Block Number
- Top of Foundation (T.O.F.) (i.e. top of Concrete, CMU, ICF, etc.)
- Top of Garage Floor (usually 6" or more below the T.O.F.)
- Curb & Gutter Linework with Top Back of Curb Elevation (T.B.C.) (this elevation shall be surveyed to ensure accuracy in determining proper T.O.F. elevations and correct driveway slope calculations)
- Building Outline to Include Attached Structures, i.e. Decks, Porches, Retaining Walls, Breezeways, etc.
- Show any accessory structures such as a shed or a garage.
- Scale Bar. Standard Engineering Scale Only. Architectural / Fractional Scale will not be accepted. Scale: 1"=20', 1"=30', 1"=40', 1"=50', or 1"=60'(max)
- Proposed Water & Sewer Line Locations from the Structure to the City Mains
- Show all easements on the property and Label Size and Type of Easement
- Drainage Flow Arrows
- If known, show the locations of the electrical, gas, and telecommunications lines

❖ **Gray Scale Lines:**

- Building Setback Distance → Front, Side & Rear Yards – From Building to Property Line
- Finished Grade Contour Lines. Extend 20' (minimum) Beyond the Property Lines. The overall existing subdivision contours shall be modified to more adequately show the intra-lot drainage.
- One (1) foot or two (2) foot contour intervals (*1 foot preferred*).
- Adjacent Streets (Provide Street Name(s))
- Driveway Location & Slope – Show Width and Depth dimensions & indicate if a 4' shelf around the front of the garage door will be installed as this will drastically affect the driveway slope.
- Sidewalks, walkways, patios, and/or other flatwork

❖ **Bottom Right Corner:**

- Property Address
- Property Legal Description: Lot, Block, and Subdivision

❖ **Bottom Center:**

- Surveyor/Engineer/Architect
- Company Name
- Company Address, Phone Number, and E-mail

Note: A foundation location certification is requested at, or prior to, the sill plate inspection. Vertical construction without the foundation location certification is at the builder's risk. The location certification shall be signed and sealed by a Wyoming Registered Surveyor.